

East Haddam Village

East Haddam, Connecticut



East Haddam Village
Revitalization Committee

George Fellner, AIA, LEED AP
Fellner Associates Architects

East Haddam Village Revitalization Committee

- William Gerrish, Chairman
- Phillip Barlow
- Randolph Dill
- William Brady
- Melanie Kolek
- Lisa McNellis
- Michael Gionta
- Mary Ellen Klinck, Alternate
- Eric Sabetta, Alternate
- Mark Walter, First Selectman

Fellner Associates Architects

415 Killingworth Road
Higganum, Connecticut 06441
www.fellnerarchitects.com

George Fellner, AIA, LEED AP
Rebecca Ficaro, AIA
Mark Degnan, Assoc. AIA

Design Approach

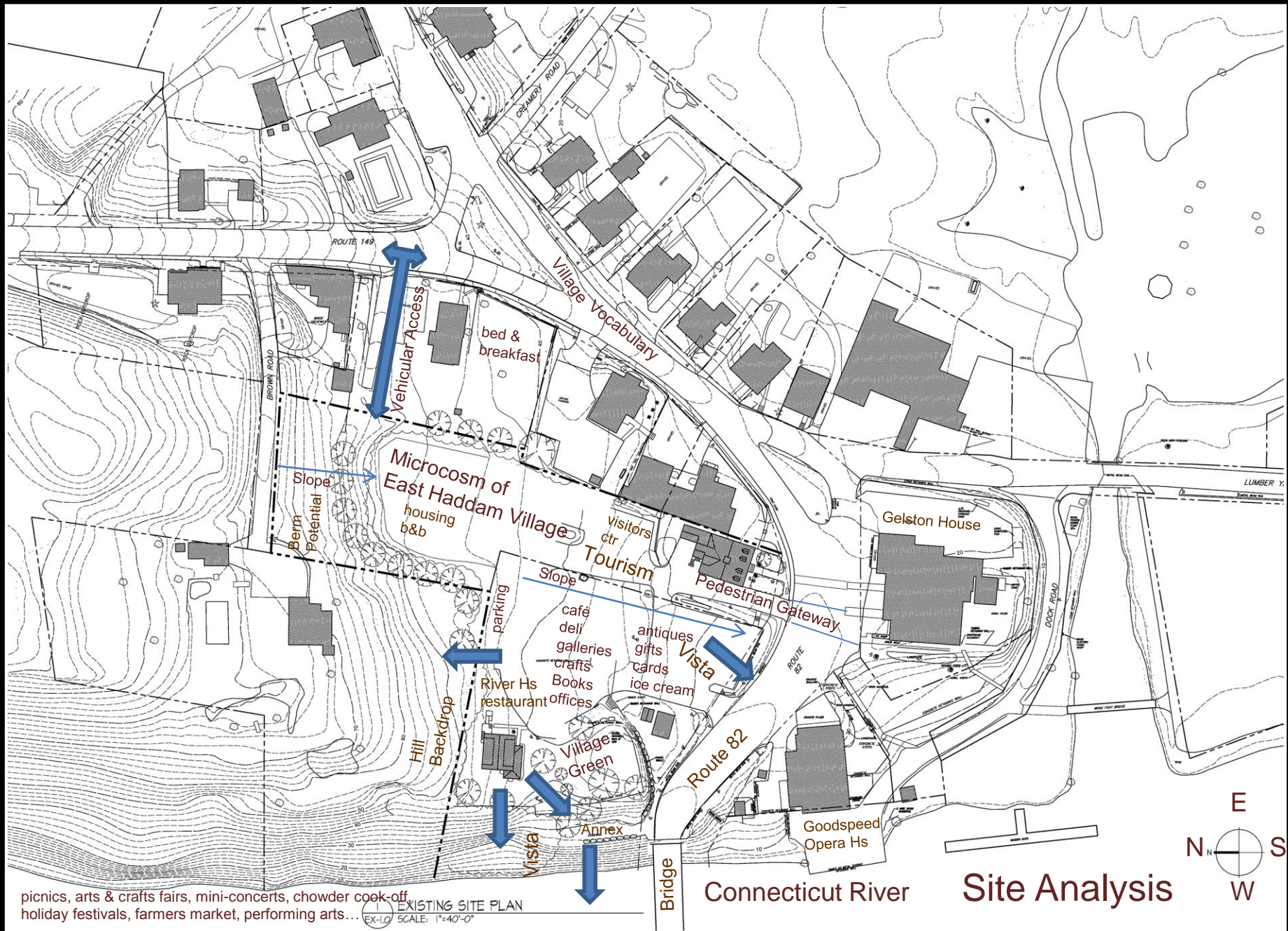
- Dialogue: EHVRRC & Architect
- Implementation of *Vision Statement*
- Review studies, maps, reports/documentation
- Photo documentation/field presence
- Exploration of sustainable design potential
- Schematic site plan: evolving schemes w/ feedback from EHVRRC
- 3-D computer modeling for concept development

- Fine-tune site plans & elevations
- Integrate photography w/ 3-D modeling
- Develop photo-realistic concept renderings
- Develop PowerPoint presentation
- Intent: design concept that communicates w/ sense of place
- Complement EHVRRC's Vision Statement
- Serve as vehicle for communications w/ community & potential developers

Project Goals

- Concept: *daycation destination* w/ mixed commercial & residential/professional uses
- Balanced & integrated development
- Create a premier anchor for tourism
- Mindset: contextual relationship w/ architectural vernacular/cultural themes
- Strong visual/physical ties w/ CT River
- *New England Piazza/Village Green Hybrid*
- Pedestrian-oriented/walkability
- Establish a strong commercial tax base
- EHV: part of total larger picture (vehicular & pedestrian movement, & village context)





picnics, arts & crafts fairs, mini-concerts, chowder cook-off
 holiday festivals, farmers market, performing arts...

EXISTING SITE PLAN
 EX-1.0 SCALE: 1"=40'-0"

Connecticut River

Site Analysis

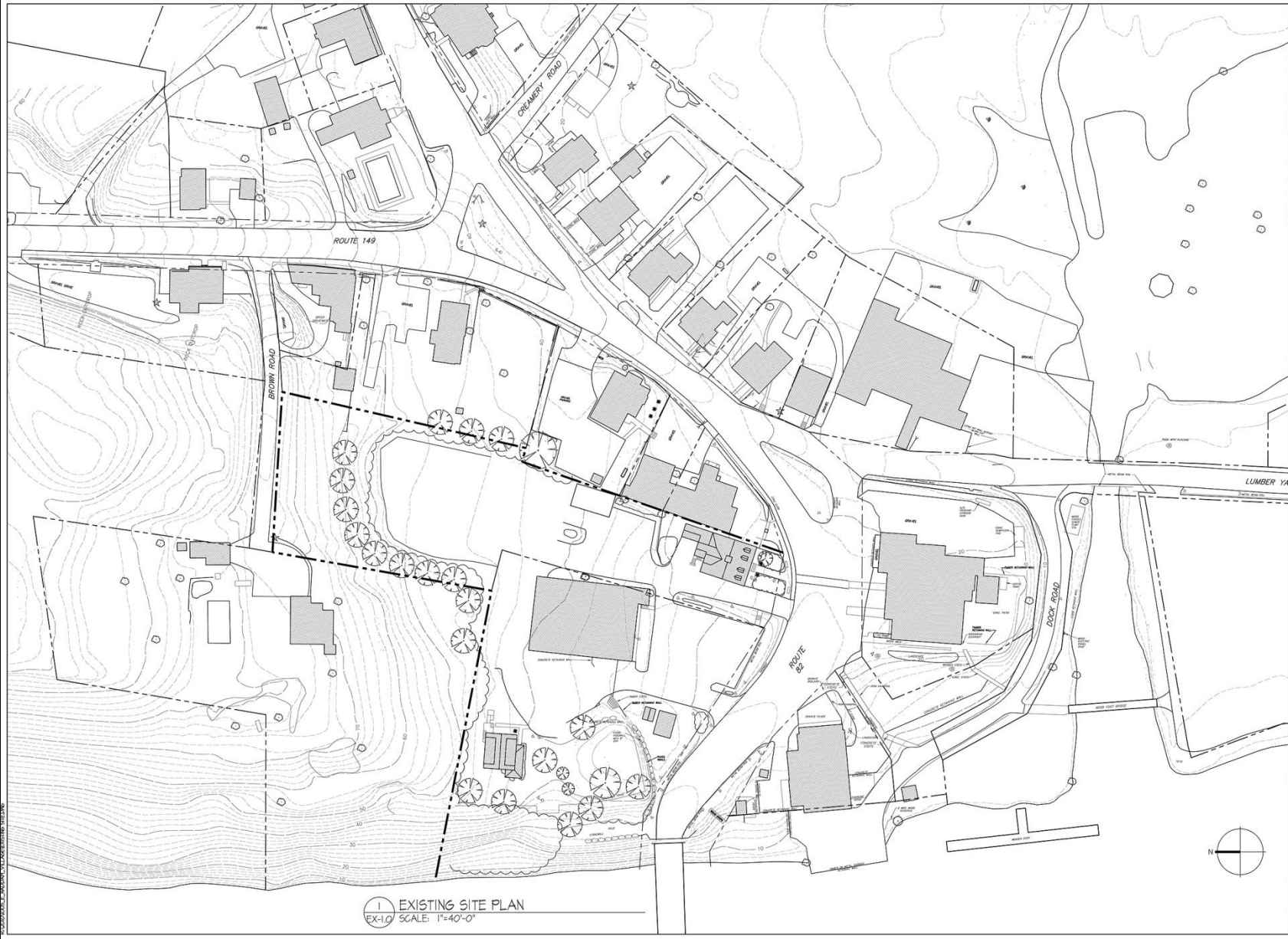
Sustainable Design Considerations



- Integrated site planning
- Efficient vehicular/pedestrian organization
- Parking (cars & bikes)
- Safety concerns
- Building orientation
- Passive design strategies
- Stormwater management/rainwater harvesting
- Mixed use development
- Recyclable/renewable materials
- Renewable energy systems
- Efficient lighting systems

Sustainable Design Strategies

- Pervious paving (pedestrian & vehicular)
- Subgrade direct infiltration areas
- Vegetative swales
- Stormwater management/collection system
- Indigenous landscaping
- Earth-sheltered & green roof system
- Geothermal heating & cooling system
- Extensive porches for shading
- Bike storage



1 EXISTING SITE PLAN
EX-1.0 SCALE: 1"=40'-0"

REVISIONS:

F

A

A

FELLNER
ASSOCIATES
ARCHITECTS

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HADDAM, CT 06441
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EAST HADDAM VILLAGE
EAST HADDAM, CT

EXISTING SITE PLAN

PROJECT NAME:

SHEET NAME:

JOHN NO. 1 100

OWNER NO. 100

SCALE: 1"=40'-0"

DATE: 10/08

SHEET NO. 1

EX-1.0



PROPOSED SITE PLAN - SCHEME C

PROPOSED SITE PLAN - SCHEME C
SCALE: 1"=30'-0"

AREA/PARKING CALCULATIONS:

	AREA	REQUIRED PARKING
NEW RETAIL SPACE	19,100 S.F.	20,000 S.F. = 36 SPACES
NEW OFFICE SPACE	10,736 S.F.	20,000 S.F. = 32 SPACES
NEW BED AND BREAKFAST SPACE	5,613 S.F.	1 PER 100 = 6 SPACES
RIVER HOUSE FIRST FL. ADDITIONS	2,941 S.F.	60,000 S.F. = 9 SPACES
RIVER HOUSE SECOND FL. OFFICES	416 S.F.	20,000 S.F. = 3 SPACES
EXISTING TOWN HALL FIRST FL.	2,336 S.F.	20,000 S.F. = 4 SPACES
EXISTING TOWN HALL SECOND FL.	1,094 S.F.	20,000 S.F. = 2 SPACES
EXIST. BLDG. TO BE CONVERTED TO BHD.	2,037 S.F.	1 PER 100 = 4 SPACES
TOTAL BUILDING AREA	43,111 S.F.	TOTAL REQ. SPACES: 64
TOTAL NEW CONSTRUCTION	36,253 S.F.	
TOTAL RENOVATED CONSTRUCTION	1,461 S.F.	

*50% OF PARKING SPACES MAY BE SHARED - 50% OF 64 IS 32, THEREFORE 64 SPACES ARE REQUIRED. 64 SPACES ARE PROVIDED. IN ADDITION, 2 SPACES ARE PROVIDED WHICH ARE RESERVED FOR THE USE OF TRANSPORTATION.

• NEW LIGHT POLE

REVISIONS:

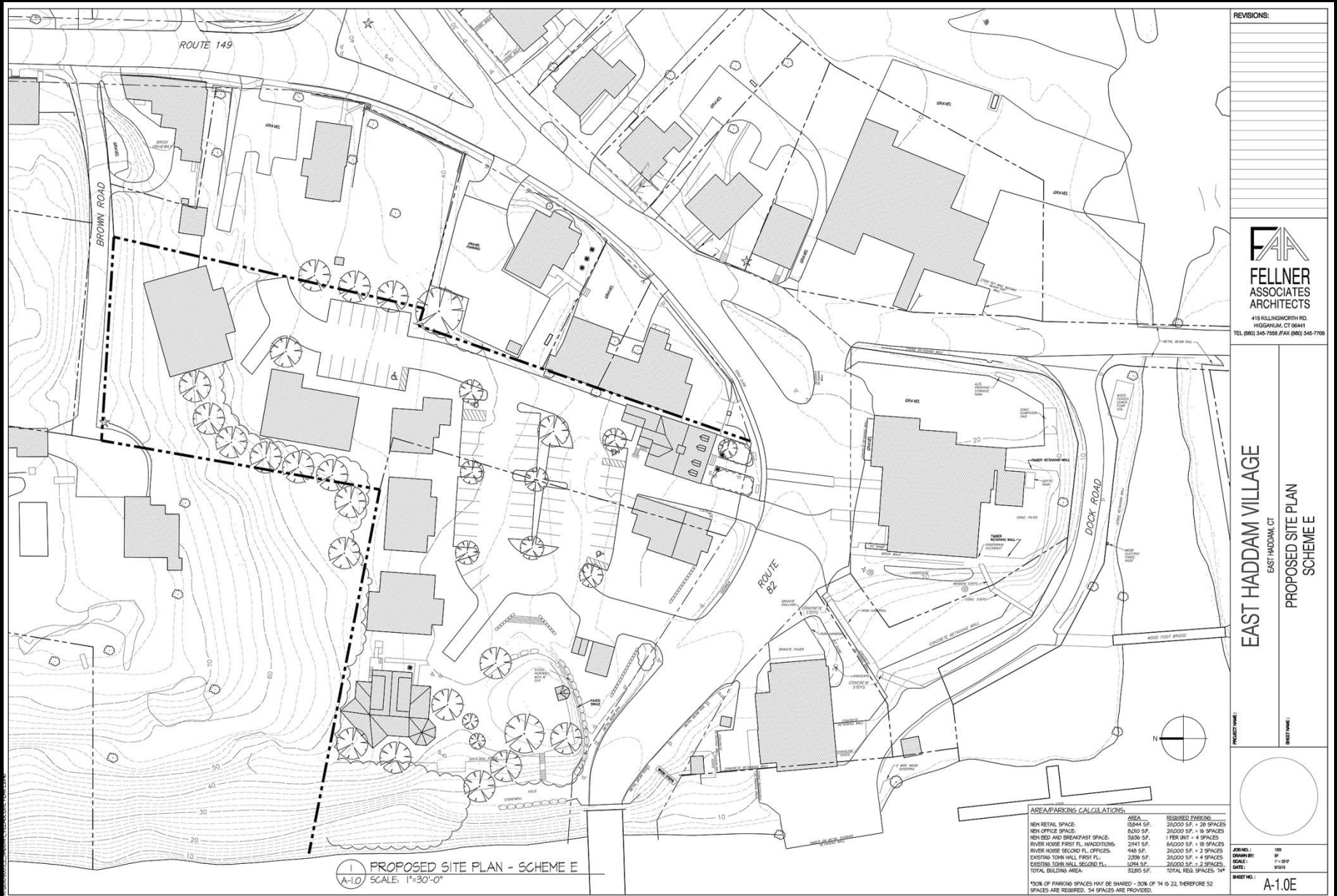
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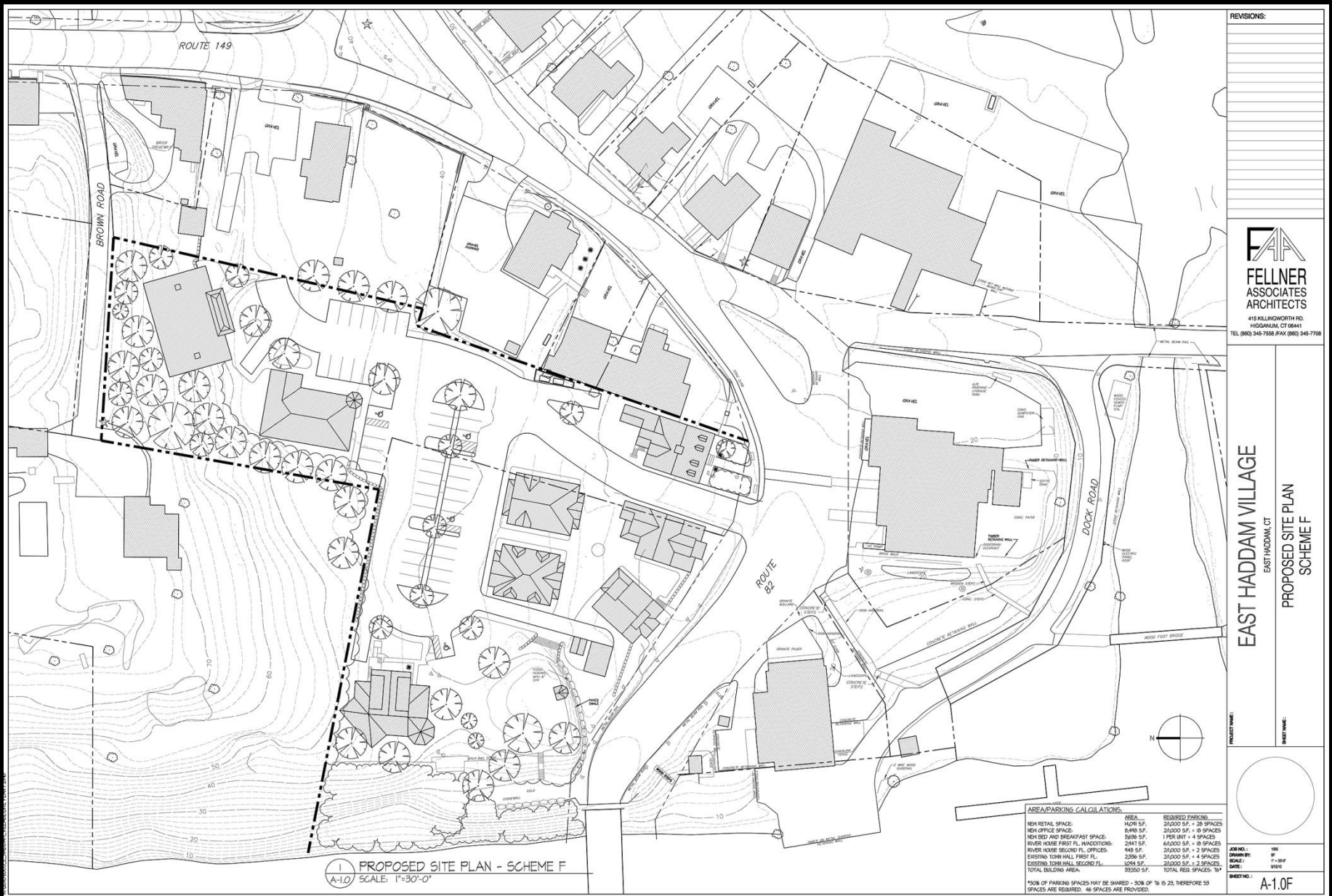
EAST HADDAM VILLAGE
EAST HADDAM, CT
PROPOSED SITE PLAN
SCHEME C

PROJECT NAME:

SHEET NAME:

JOB NO.:
DRAWING NO.:
DATE:
SHEET NO.:
S-1.0C













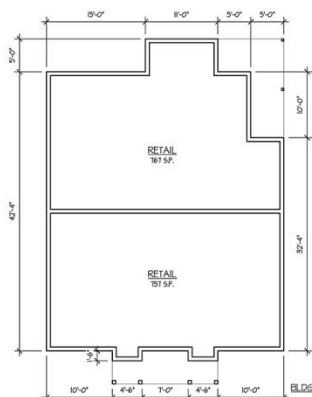




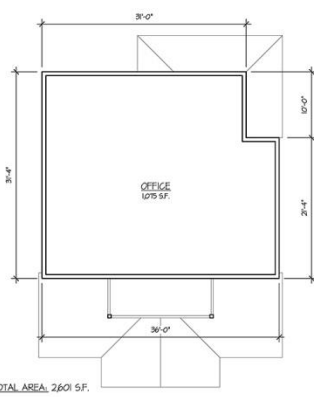




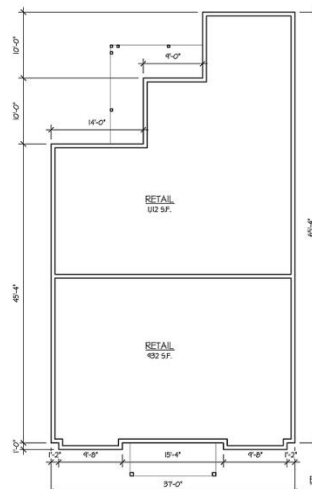
6 BLDG A ELEVATIONS
A-1.1 SCALE: 1/8"=1'-0"



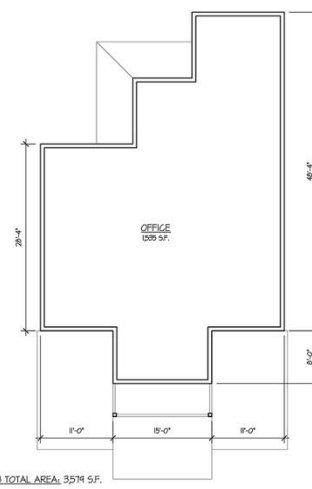
2 BLDG A - 1st FLOOR
A-1.1 SCALE: 1/8"=1'-0"



3 BLDG A - 2nd FLOOR
A-1.1 SCALE: 1/8"=1'-0"



4 BLDG B - 1st FLOOR
A-1.1 SCALE: 1/8"=1'-0"



5 BLDG B - 2nd FLOOR
A-1.1 SCALE: 1/8"=1'-0"



1 BLDG B ELEVATIONS
A-1.1 SCALE: 1/8"=1'-0"



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EAST HADDAM VILLAGE
EAST HADDAM, CT
BUILDINGS "A" AND "B"
PLANS AND ELEVATIONS

PROJECT NAME:

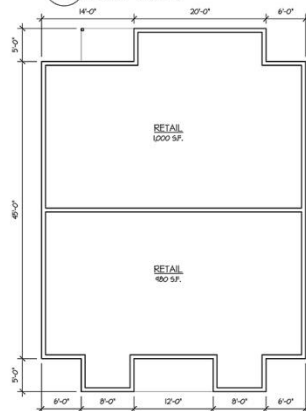
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JOB NO.: 100
DRAWN BY: JF
SCALE: 1/8"=1'-0"
DATE: 05/05

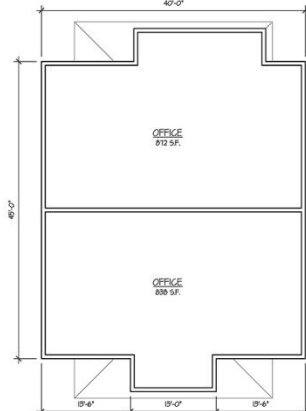
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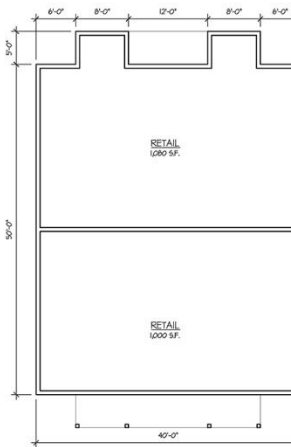
6 BLDG C ELEVATIONS
A-1.2 SCALE: 1/8"=1'-0"



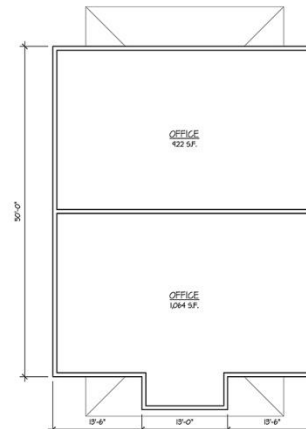
2 BLDG C - 1st FLOOR
A-1.2 SCALE: 1/8"=1'-0"



3 BLDG C - 2nd FLOOR
A-1.2 SCALE: 1/8"=1'-0"



4 BLDG D - 1st FLOOR
A-1.2 SCALE: 1/8"=1'-0"



5 BLDG D - 2nd FLOOR
A-1.2 SCALE: 1/8"=1'-0"



1 BLDG D ELEVATIONS
A-1.2 SCALE: 1/8"=1'-0"

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EAST HADDAM VILLAGE

EAST HADDAM, CT

BUILDINGS "C" AND "D"
PLANS AND ELEVATIONS

PROJECT NAME

SHEET NAME

JOB NO.: 188
DRAWN BY: SP
CHECKED BY: SP
DATE: 03/19

SHEET NO.: A-1.2



NORTH (PARKING LOT)



EAST



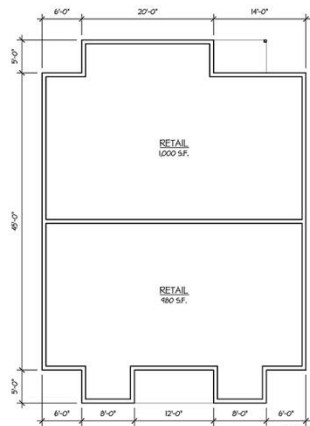
SOUTH (PIAZZA)



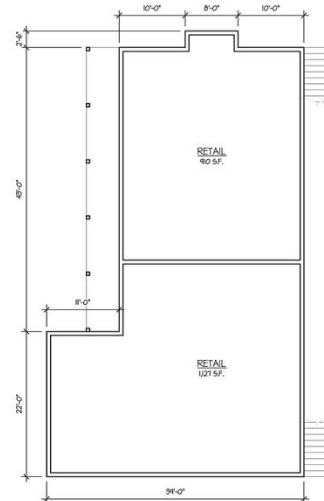
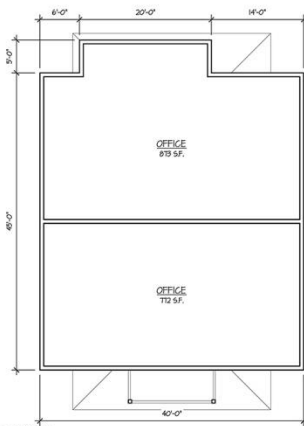
WEST



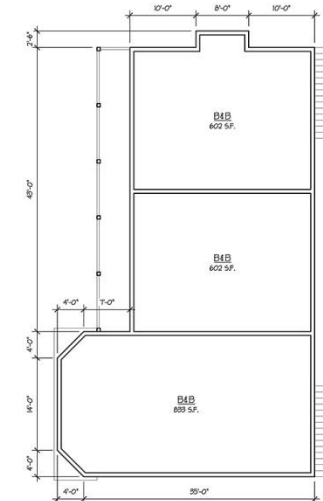
6 BLDG E ELEVATIONS
A-1.3 SCALE: 1/8"=1'-0"



BLDG E TOTAL AREA: 9625 SF.



BLDG H TOTAL AREA: 4074 SF.



2 BLDG E - 1st FLOOR
A-1.3 SCALE: 1/8"=1'-0"

3 BLDG E - 2nd FLOOR
A-1.3 SCALE: 1/8"=1'-0"

4 BLDG H - 1st FLOOR
A-1.3 SCALE: 1/8"=1'-0"

5 BLDG H - 2nd FLOOR
A-1.3 SCALE: 1/8"=1'-0"



NORTH



EAST



SOUTH



WEST

1 BLDG H ELEVATIONS
A-1.3 SCALE: 1/8"=1'-0"

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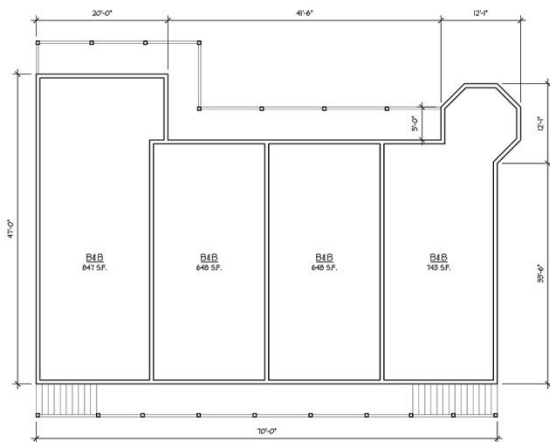
EAST HADDAM VILLAGE
EAST HADDAM, CT

BUILDINGS "E" AND "H"
PLANS AND ELEVATIONS

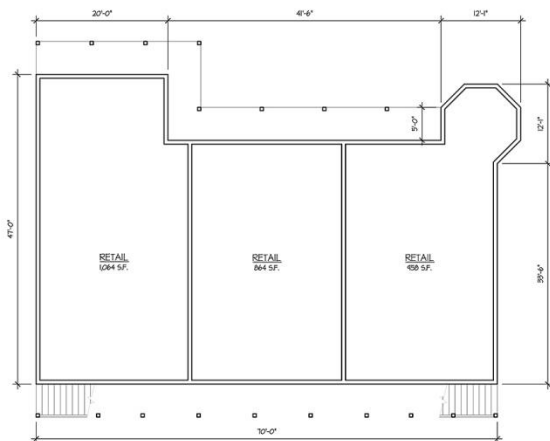
PROJECT NAME:

SHEET NAME:

JOB NO.: 188
DRAWN BY: JF
CHECKED BY: JF
DATE: 03/19
SHEET NO.: A-1.3



3 BLDG F - 2nd FLOOR
A-1.4 SCALE: 1/8"=1'-0"



BLDG F TOTAL AREA: 5,712 SF.

1 BLDG F - 1st FLOOR
A-1.4 SCALE: 1/8"=1'-0"



2 BLDG F - ELEVATIONS
A-1.4 SCALE: 1/8"=1'-0"

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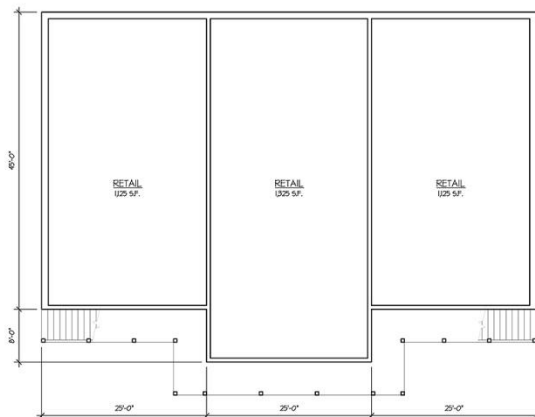
EAST HADDAM VILLAGE
EAST HADDAM, CT
BUILDING "F"
PLANS AND ELEVATIONS

PROJECT NAME:

SHEET NAME:

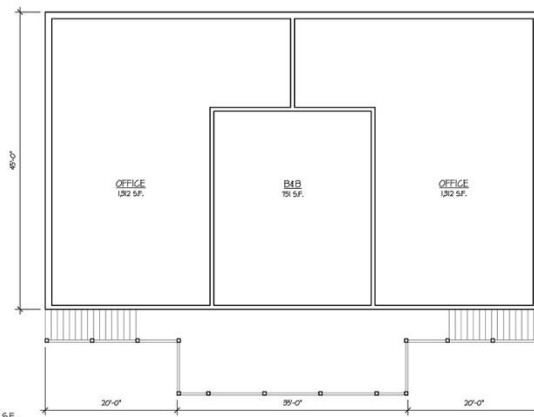
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SCALE: 1/8"=1'-0"
DATE: 05/05/10

SHEET NO.: A-1.4

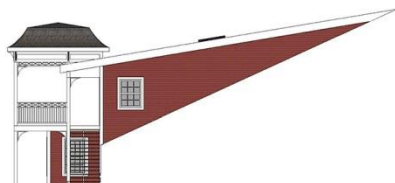


2 BLDG G - 1st FLOOR
A-1.5 SCALE: 1/8"=1'-0"

BLDG G TOTAL AREA: 6,950 S.F.



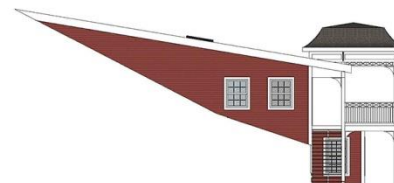
3 BLDG G - 2nd FLOOR
A-1.4 SCALE: 1/8"=1'-0"



EAST



SOUTH



WEST

1 BLDG G ELEVATIONS
A-1.5 SCALE: 1/8"=1'-0"

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EAST HADDAM VILLAGE
EAST HADDAM, CT

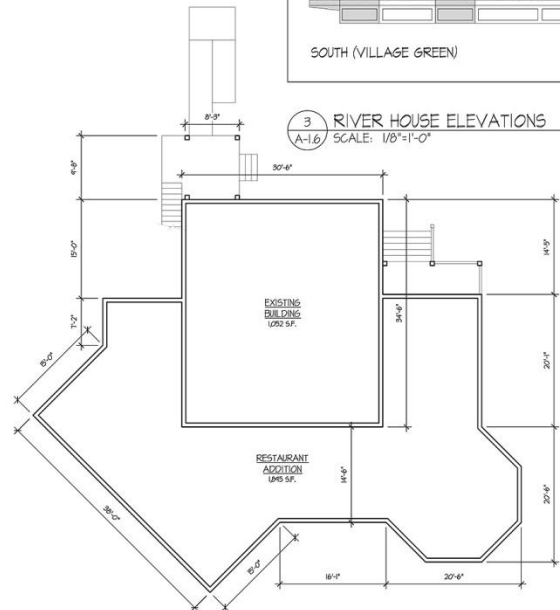
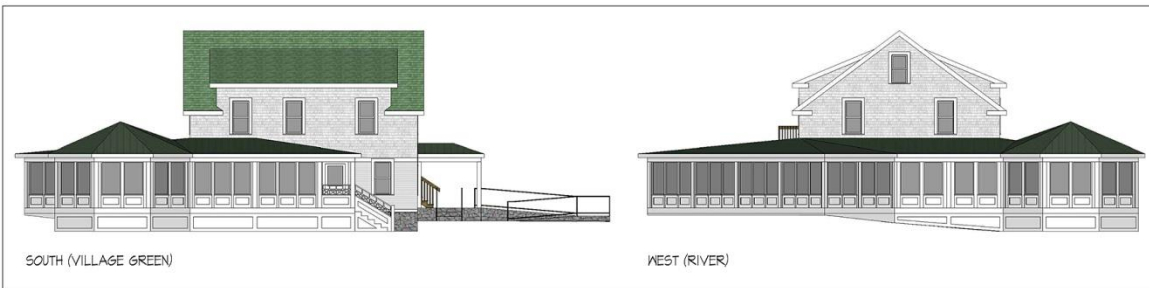
BUILDING "G"
PLANS AND ELEVATIONS

PROJECT NAME:

SHEET NAME:

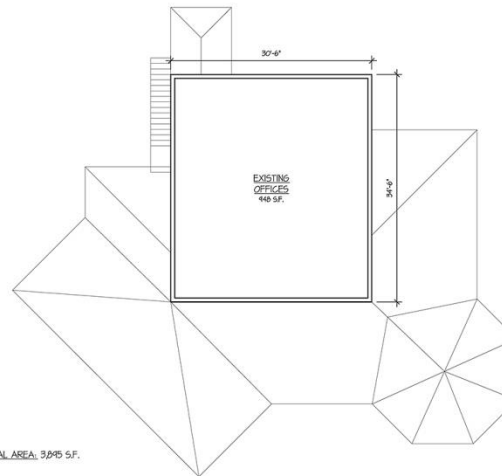
JOB NO.: 188
DRAWN BY: SP
SCALE: 1/8" = 1'-0"
DATE: 03/19
SHEET NO.:

A-1.5



1 RIVER HOUSE - 1st FLOOR
SCALE: 1/8"=1'-0"

RIVER HOUSE TOTAL AREA: 3045 S.F.



2 RIVER HOUSE - 2nd FLOOR
SCALE: 1/8"=1'-0"

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EAST HADDAM VILLAGE
RIVER HOUSE
PLANS AND ELEVATIONS

PROJECT NAME:

SHEET NAME:

JOB NO.: 100
DRAWN BY: JF
SCALE: 1/8" = 1'-0"
DATE: 05/05

SHEET NO.: A-16

AREA CALCULATIONS

SCHEME C

	<u>AREA</u>	<u>REQUIRED PARKING</u>
NEW RETAIL SPACE:	18,108 S.F.	2/1,000 S.F. = 36 SPACES
NEW OFFICE SPACE:	10,576 S.F.	2/1,000 S.F. = 22 SPACES
NEW BED AND BREAKFAST SPACE:	5,673 S.F.	1 PER UNIT = 8 SPACES
RIVER HOUSE FIRST FL. W/ADDITIONS:	2,947 S.F.	6/1,000 S.F. = 18 SPACES
RIVER HOUSE SECOND FL. OFFICES:	948 S.F.	2/1,000 S.F. = 2 SPACES
EXISTING TOWN HALL FIRST FL:	2,336 S.F.	2/1,000 S.F. = 4 SPACES
EXISTING TOWN HALL SECOND FL:	1,094 S.F.	2/1,000 S.F. = 2 SPACES
EXIST. BLDG TO BE CONVERTED TO B&B	2,037 S.F.	1 PER UNIT = 4 SPACES
TOTAL BUILDING AREA:	43,719 S.F.	TOTAL REQ. SPACES: 96*
TOTAL NEW CONSTRUCTION:	36,252 S.F.	
TOTAL RENOVATED CONSTRUCTION:	7,467 S.F.	

*30% OF PARKING SPACES MAY BE SHARED - 30% OF 96 IS 32, THEREFORE 64 SPACES ARE REQUIRED. 64 SPACES ARE PROVIDED. IN ADDITION, 2 SPACES ARE PROVIDED WHICH ARE RESERVED FOR THE CT DEPT OF TRANSPORTATION.

SCHEME D

	<u>AREA</u>	<u>REQUIRED PARKING</u>
NEW RETAIL SPACE:	16,071 S.F.	2/1,000 S.F. = 32 SPACES
NEW OFFICE SPACE:	10,208 S.F.	2/1,000 S.F. = 21 SPACES
NEW BED AND BREAKFAST SPACE:	3,636 S.F.	1 PER UNIT = 4 SPACES
RIVER HOUSE FIRST FL. W/ADDITIONS:	2,947 S.F.	6/1,000 S.F. = 18 SPACES
RIVER HOUSE SECOND FL. OFFICES:	948 S.F.	2/1,000 S.F. = 2 SPACES
EXISTING TOWN HALL FIRST FL:	2,336 S.F.	2/1,000 S.F. = 4 SPACES
EXISTING TOWN HALL SECOND FL:	1,094 S.F.	2/1,000 S.F. = 2 SPACES
TOTAL BUILDING AREA:	37,240 S.F.	TOTAL REQ. SPACES: 83*
TOTAL NEW CONSTRUCTION:	31,810 S.F.	
TOTAL RENOVATED CONSTRUCTION:	5,430 S.F.	

*30% OF PARKING SPACES MAY BE SHARED - 30% OF 83 IS 25, THEREFORE 58 SPACES ARE REQUIRED. 59 SPACES ARE PROVIDED.

SCHEME E

	<u>AREA</u>	<u>REQUIRED PARKING</u>
NEW RETAIL SPACE:	13,844 S.F.	2/1,000 S.F. = 28 SPACES
NEW OFFICE SPACE:	8,010 S.F.	2/1,000 S.F. = 16 SPACES
NEW BED AND BREAKFAST SPACE:	3,636 S.F.	1 PER UNIT = 4 SPACES
RIVER HOUSE FIRST FL. W/ADDITIONS:	2,947 S.F.	6/1,000 S.F. = 18 SPACES
RIVER HOUSE SECOND FL. OFFICES:	948 S.F.	2/1,000 S.F. = 2 SPACES
EXISTING TOWN HALL FIRST FL:	2,336 S.F.	2/1,000 S.F. = 4 SPACES
EXISTING TOWN HALL SECOND FL:	1,094 S.F.	2/1,000 S.F. = 2 SPACES
TOTAL BUILDING AREA:	32,815 S.F.	TOTAL REQ. SPACES: 74*
TOTAL NEW CONSTRUCTION:	27,385 S.F.	
TOTAL RENOVATED CONSTRUCTION:	5,430 S.F.	

*30% OF PARKING SPACES MAY BE SHARED - 30% OF 74 IS 22, THEREFORE 52 SPACES ARE REQUIRED. 54 SPACES ARE PROVIDED.

SCHEME F

	<u>AREA</u>	<u>REQUIRED PARKING</u>
NEW RETAIL SPACE:	14,091 S.F.	2/1,000 S.F. = 28 SPACES
NEW OFFICE SPACE:	8,498 S.F.	2/1,000 S.F. = 18 SPACES
NEW BED AND BREAKFAST SPACE:	3,636 S.F.	1 PER UNIT = 4 SPACES
RIVER HOUSE FIRST FL. W/ADDITIONS:	2,947 S.F.	6/1,000 S.F. = 18 SPACES
RIVER HOUSE SECOND FL. OFFICES:	948 S.F.	2/1,000 S.F. = 2 SPACES
EXISTING TOWN HALL FIRST FL:	2,336 S.F.	2/1,000 S.F. = 4 SPACES
EXISTING TOWN HALL SECOND FL:	1,094 S.F.	2/1,000 S.F. = 2 SPACES
TOTAL BUILDING AREA:	33,550 S.F.	TOTAL REQ. SPACES: 76*
TOTAL NEW CONSTRUCTION:	28,120 S.F.	
TOTAL RENOVATED CONSTRUCTION:	5,430 S.F.	

*30% OF PARKING SPACES MAY BE SHARED - 30% OF 76 IS 23, THEREFORE 53 SPACES ARE REQUIRED. 46 SPACES ARE PROVIDED.

Sources of Information

- A Field Guide to American Houses
by Virginia & Lee McAlester (1984)
- East Haddam Historical Society & Museum
Photography archives (historical photos)
- Mobility Improvement Study for the Village of East
Haddam: Concept Design Phase (2004)
- 2006 Community Study for the Town of East Haddam
Economic Development Commission
- Town Offices Site Re-Use Study, East Haddam, CT (2006)
- Town of East Haddam Plan of Conservation & Development